



Site Plan Drawing Requirements

A. SITE PLAN CONTROL – IMPORTANT:

- i. Site Plan must be sufficiently detailed for Municipal staff to review.
- ii. Site Plan must be prepared by engineer, architect or other professional designer.
- iii. You may be required to submit an Elevation Plan to confirm the building height.

B. SITE PLAN DRAWING REQUIREMENTS:

Site Plan Drawing and Title Block

- Drawing title block
 - property address
 - registered owner
 - drawing revision number and revision date
- Drawing to be to scale using Metric Units
- Designer information (identify individual or entity that prepared the drawing)
- North arrow
- Adjacent existing structures and land uses
- Zoning Matrix (including information related to required provisions, existing, & proposed development):
 - Required zone provisions
 - Total lot area, frontage, lot coverage and landscaped open space
 - Minimum yards and proposed setbacks
 - Gross floor area (by proposed use if applicable)
 - Number of units (if residential)
 - Existing & Proposed Use
 - Building Classification for Proposed Use
 - Total required parking spaces per permitted use (standard and barrier free, and bicycle)
 - Building Height
 - For greenhouses: number of farm workers, number of beds provided, and units per bunkhouse



Subject Property

- Fully dimensioned property boundaries/ lines
- Names of streets fronting the property
- Municipal drains, depth, width and top of bank
 - Required setback from top of bank for entire length of municipal drain
 - Width of setback must be indicated in shading for entire length of drain
- Location and type of municipal service connections (water, sanitary, storm)
- Location, approx. dimensions, capacity and setback of on-site septic system (tank, tile bed), or proposed location of sanitary wastewater treatment plant by others
- Vegetation to be removed, maintained, or provided (trees, shrubs, agricultural fence row)

Structures, Buildings, and Facilities

- Location, dimensions and floor area of all existing and proposed structures (*see definition of *structure* below)
- Setback measurements from property lines to all structures and other on-site features (front, rear, interior/ exterior side yard, distance between nearest structures/buildings, etc.)
- Location, dimensions and setback of existing or proposed electrical transmission facilities (including ground mounted transformers, switch gears, metering stations, etc.)
- Location of main (principal) entrance, man doors, and loading doors for existing and proposed building(s)
- Location of building mount or free-standing outdoor light fixtures
- Height of each existing and proposed structure(s) (including main and, if any, accessory structures)
 - Elevation Drawing may be required to confirm height of all structures

Site Works

- Layout of parking area(s) and dimensioned aisle widths
- Locations and dimensioned parking spaces (regular, parallel, visitor and barrier free)
- Type of barrier free parking spaces provided (Type A or B)
- Location and number of bicycle parking spaces
- Location, dimensions and number of loading spaces
- Driveway entrances, widths and setback to property lines
- Location, dimensions (width), and surfacing of sidewalks, walkways, and pedestrian access locations
- Location, height and description of fencing, retaining walls, or privacy walls
- Location of fire hydrants and the distance to the fire department connection
- Type of ground cover or surface treatment (asphalt, gravel, grass, wood chip, etc.)
- Location of refuse (garbage) and type of enclosures



C. ADDITIONAL INFORMATION:

In addition to the minimum requirements noted above, you may be asked to include additional information on your site plan drawing based on your site plan control review and the comments provided. The items, as outlined in the list below, are not exhaustive, and you may be required to provide information not contained in this list.

If Applicable

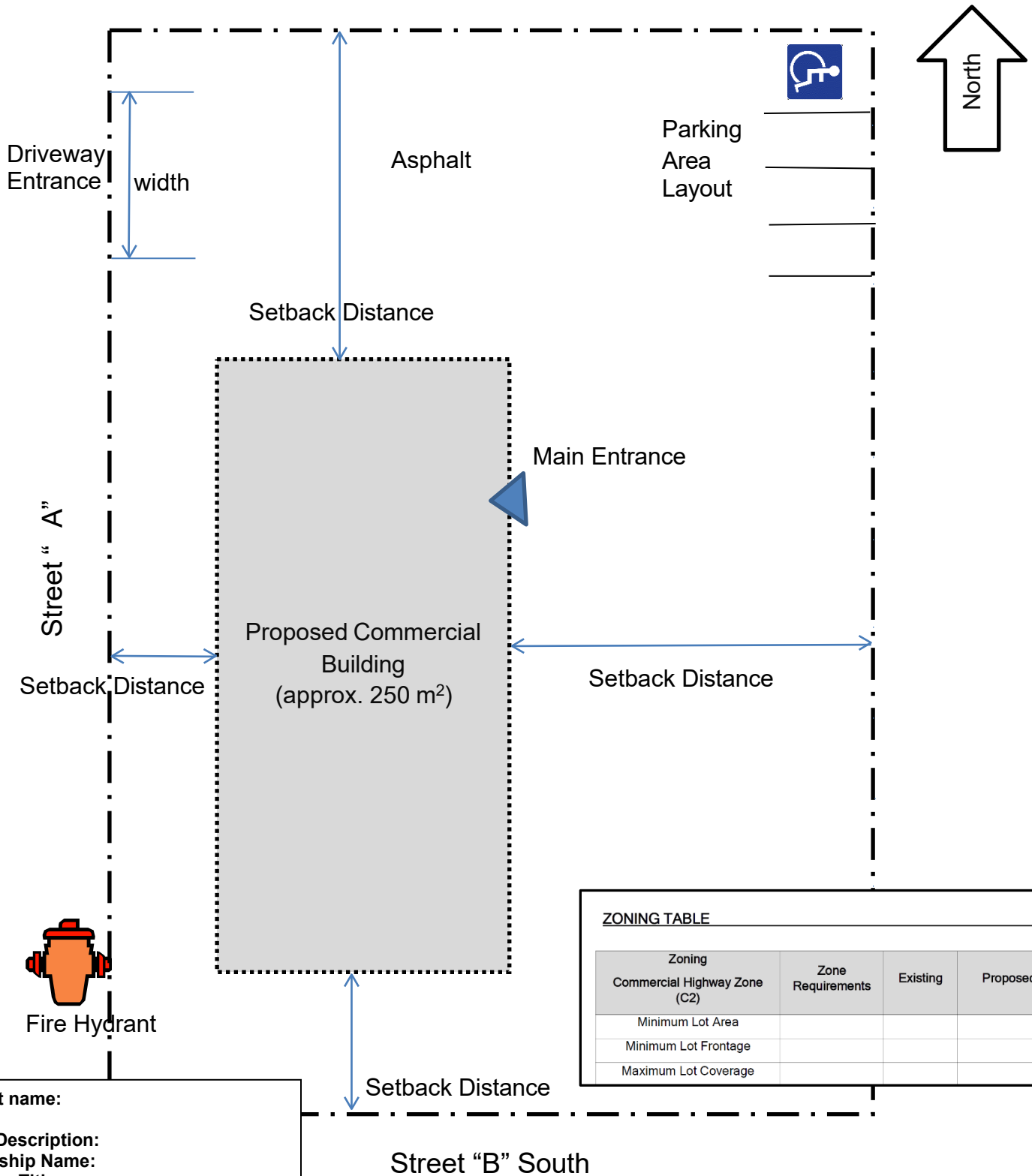
- Limits of proposed work (such as phasing limits)
- Proposed road widenings
- Dimensioned sight visibility triangles
- Existing and/or required 0.3 metre reserves
- On-site traffic and parking signage
- Identification of one-way or two-way traffic
- Location and type of existing and proposed curbing and identification of type
- Identification of main (principal) entrance and nearest hydrant or distance to nearest hydrant and/or proposed siamese connection locations on the building
- Identification of proposed fire routes in accordance with Ontario Building Code, Section 3.2.5.6 and fire route signage
- Location, dimensions, setback, and volume for above ground fuel storage
- Location, dimensions and setback of existing or proposed renewable energy structures and their setbacks
- Adjacent traffic islands, utility poles, transformers, fire hydrants and sidewalks
- Watercourse, swales, culverts, retaining walls, embankments, catch basins, utilities and other features on or adjacent to the site
- Existing or proposed easements and identification of whom they are in favour
- Snow storage areas
- Refuse vehicle access route
- Location of proposed commercial signage

***Zoning By-law 890-09 - Section 3.240 Definition of “Structure”:**

Shall mean anything that is erected, built or constructed of parts joined together and which is fixed to or supported by the soil, any other structure or both, including a satellite dish, a fence, a parking area, a sign and permitted outside storage or goods and materials but excluding a patio or private outdoor swimming pool. Lawn items such as a flagpole, bird house, bird bath, play equipment, and other similar items shall not be considered as structures and are not regulated by this By-law.



Example of Site Plan Drawing



ZONING TABLE			
Zoning	Zone Requirements	Existing	Proposed
Commercial Highway Zone (C2)			
Minimum Lot Area			
Minimum Lot Frontage			
Maximum Lot Coverage			

Project name:
Date:
Legal Description:
Ownership Name:
Drawing Title:
Issue and/or revision date: