



Site Plan Drawing Requirements

Site Plan Control

A. PRE-CONSULTATION – PRELIMINARY REVIEW

Minimum “Concept Plan” requirements (for preliminary review purposes only)

- Note:** i.) Site Plan must be sufficiently detailed for Municipal staff to review.
ii.) Site Plan must be prepared by engineer, architect or other professional designer.
iii.) If your proposed development is three storeys or more, you may be required to submit an Elevation Plan to confirm building height.

Minimum Required Information:

- Drawing title, revision number, revision date
- Drawing to be to scale using Metric Units
- Designer information (identify individual or entity that prepared the drawing)
- North arrow
- Dimensioned property boundaries
- Names of streets fronting the property
- Proposed building footprint
- All existing and proposed structures (*see definition of structure below)
- Setback measurements (front, rear, side yard, between structures/buildings, etc.)
- Layout of parking area(s)
- Driveway entrances & widths
- Sidewalks and pedestrian access locations
- Main (principal) entrance to proposed building(s)
- Location of the nearest fire hydrant
- Adjacent existing structures, land uses and zoning
- Zoning Matrix (including required, existing, & proposed):
 - Current zoning
 - Total lot area, frontage, lot coverage and landscaped open space
 - Minimum yards and proposed setbacks
 - Gross floor area (by proposed use if applicable)
 - Number of units (if residential)
 - Total required parking spaces
 - Building Height



B. FULL SITE PLAN REQUIREMENTS

In addition to the Minimum Site Plan requirements, as noted above, based on your pre-consultation review and comments, you may be asked to include additional information in your final site plan as outlined in the list below. This list is not exhaustive and therefore you may be required to provide information not contained in this list.

Required Information as applicable:

- Title block including:**
 - Key plan
 - Project name and municipal address
 - Legal Description
 - Ownership name
 - Drawing title, revision number and issue date
- Limits of Proposed Work (Phasing Limits), if applicable
- Proposed Road Widening
- Sight visibility triangles
- Existing 0.3 metre reserves
- Dimensioned driveway entrances and widths
- Dimensioned parking spaces and locations (regular, parallel, visitor and accessible)
- Dimensioned aisle widths
- On-site traffic and parking signage
- Identification of one-way or two-way traffic
- Identification of Main (principal) entrance and nearest hydrant or distance to nearest hydrant and proposed siamese connection locations on the building.
- All ground cover (asphalt, gravel, grass, wood chip, etc.)
- Proposed Curbing and identification of type
- Specifications for Sidewalks and Walkways
- Identification of proposed fire routes in accordance with Ontario Building Code, Section 3.2.5.6 and fire route signage
- Above ground fuel storage, setbacks, dimensions & volume
- Refuse vehicle access and garbage enclosures
- Adjacent traffic islands, utility poles, transformers, fire hydrants and sidewalks (as applicable)



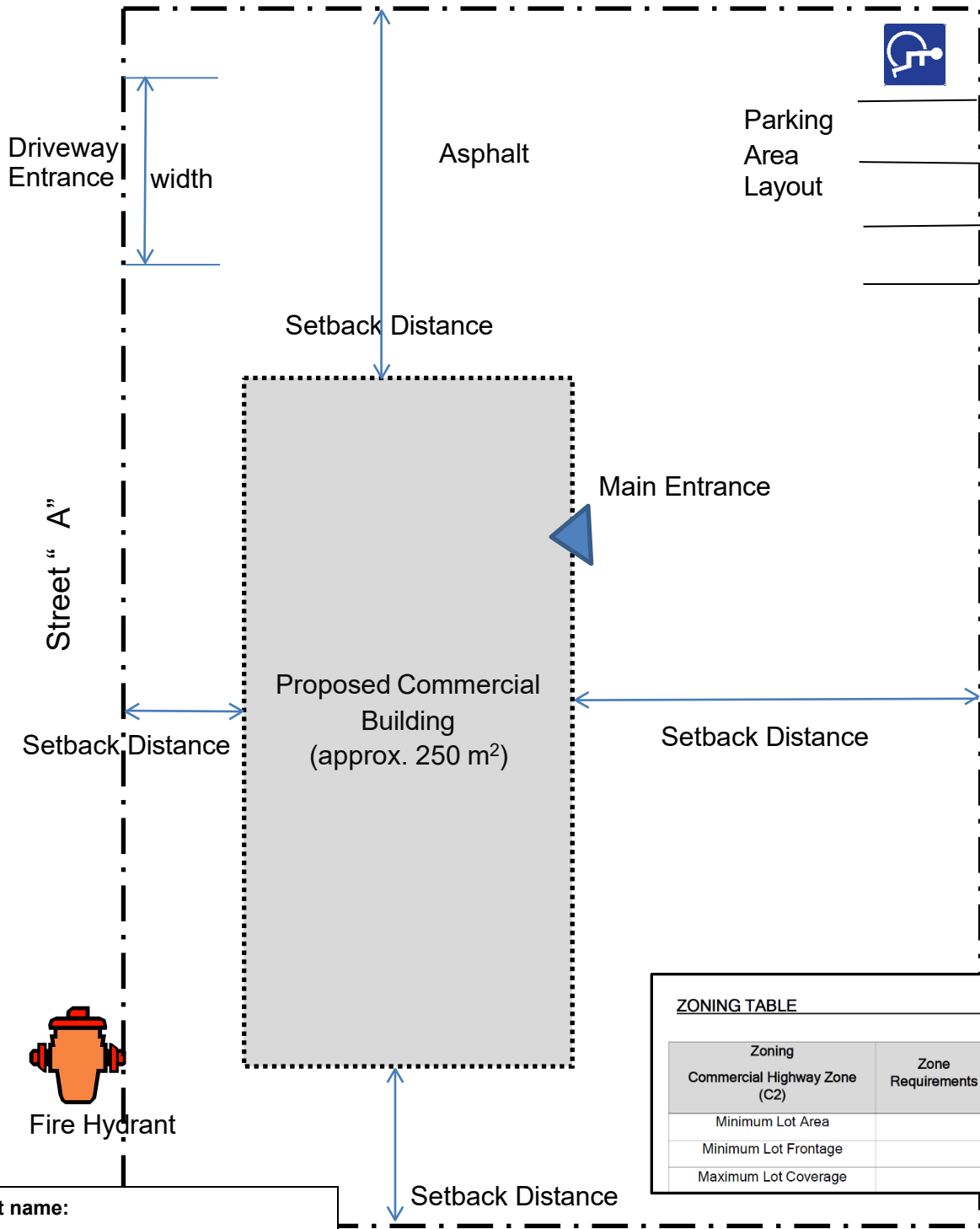
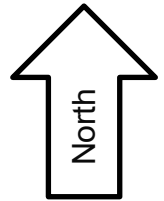
- Watercourse, swales, culverts, retaining walls, embankments, catch basins, utilities and other features on or adjacent to the site
- Existing or proposed easements and identification of whom they are in favour
- Location of Outdoor Light Fixtures
- Renewable energy structures and their setbacks
- Location of Man Doors and Loading Doors
- Snow Storage Areas
- Location of proposed commercial Signage
- Location of Privacy Fencing

***ZBL Section 3.240 Definition of “Structure”:**

Shall mean anything that is erected, built or constructed of parts joined together and which is fixed to or supported by the soil, any other structure or both, including a satellite dish, a fence, a parking area, a sign and permitted outside storage or goods and materials but excluding a patio or private outdoor swimming pool. Lawn items such as a flagpole, bird house, bird bath, play equipment, and other similar items shall not be considered as structures and are not regulated by this By-law.



SAMPLE OF CONCEPT PLAN DRAWING (Minimum Requirements)



| ZONING TABLE | | | |
|------------------------------|-------------------|----------|----------|
| Zoning | Zone Requirements | Existing | Proposed |
| Commercial Highway Zone (C2) | | | |
| Minimum Lot Area | | | |
| Minimum Lot Frontage | | | |
| Maximum Lot Coverage | | | |

Project name:
Date:
Legal Description:
Ownership Name:
Drawing Title:
Issue and/or revision date:

Street "B" South